

DESIGN GUIDELINES

FOR



&



A PLANNED UNIT DEVELOPMENT MANHATTAN, MT



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I. INTRODUCTION

The Pioneer Crossing Property Owners' Association and the Centennial Village Property Owners' Association welcome you, a new property owner, to Pioneer Crossing and Centennial Village. As a property owner or project developer within the Pioneer Crossing and Centennial Village developments, you are a stakeholder in a unique and new development within the Manhattan community.

A. Project Vision and Objectives

The design intent of Pioneer Crossing encourages the layout, scale, massing and physical relationships of a small town community that values highly the benefits of a street-oriented community, as well as sensitivity to the provincial and historical references of the greater community. In essence, Pioneer Crossing demonstrates the architectural building styles and details of a traditional craftsman or bungalow home with "Prairie Americana" flair.

The design intent of Centennial Village encourages mixed-use development, including residential and commercial uses that will compliment the Pioneer Crossing community to the north as well as provide housing opportunities for new home buyers that want to maintain a close relationship to downtown activities in Manhattan. The residential property owner has the opportunity to choose from a variety of housing built to IRC or UBC standards. The commercial and office/warehouse property owners will have the opportunity to create a unique combination of commercial uses in a convenient and unique setting.

Both Pioneer Crossing and Centennial Village are designed to optimize the street and living interface by providing a pleasant streetscape experience and plentiful pedestrian amenities, including sidewalks, tree boulevards, trails and parks. These pedestrian amenities are balanced with current engineering and designed to create a neighborhood that reflects the dynamics of changing times and current building techniques employed in the industry.

New interpretations of traditional building types are encouraged, such that they are seen as products of their own time yet comparable to historic

communities heralded for their charm and attention to the pedestrian environment.

Encouraging pedestrian activity is a major objective for the entire Pioneer Crossing and Centennial Village developments. New development should strengthen the appeal for walking and bicycling. Commercial buildings and site elements should express appropriate scale and the use of materials and forms, which depict the character and image of a traditional Montana community.

These guidelines promote an architectural expression that is well-suited to the local conditions, climate and environment, and is visually compatible with its surroundings.

Figure 1, Page 4 illustrates the site plan.

As an owner of a Pioneer Crossing or Centennial Village property, you have the opportunity to contribute to the overall quality of life in these neighborhoods as well as the town of Manhattan. With this opportunity comes the obligation to meet a number of requirements and regulations.

The developers, Moreland Estates LLC and Farmall LLC, and the Architectural Review Committee are available for consultation regarding the Design Guidelines or other related development issues.

B. The Purpose of this Document

This document sets forth design guidelines for development within Pioneer Crossing and Centennial Village. The guidelines have been created to establish the vernacular and design criteria, and are based on a commitment to establish a strong "sense of place." These guidelines require and encourage an approach to design that will help enhance the character of the community, making it appealing to property owners, residents and visitors.

These guidelines also provide information to potential property owners for use in making decisions about their projects. This document addresses basic principles of design that promote an environment that is attentive to the needs of the pedestrian, maintains cohesive neighborhood identity, and respects the unique setting of Manhattan.

C. Organization of the Design Guidelines

CVPOA – Centennial Village Property Owners’ Association

Chapter I introduces Pioneer Crossing and Centennial Village and provides general background on the document.

Chapter II introduces the owners’ associations and the Architectural Review Committee (ARC) and their responsibilities as they pertain to development in Pioneer Crossing and Centennial Village.

Chapter III describes the site plan review process for all development projects in Pioneer Crossing and Centennial Village.

Chapter IV describes and illustrates design guidelines that are applicable to development within Pioneer Crossing.

Chapter V describes and illustrates design guidelines that are applicable to development within Centennial Village.

Chapters VI through Chapters VIII are provided for construction procedures, contacts, and examples of building design. This information may change from time to time. The owners’ associations should be contacted for the most up-to-date information.

D. Definitions

The following acronyms are used throughout the Design Guidelines and are defined here:

CUP – Conditional Use Permit

DG – Design Guidelines

ARC – Architectural Review Committee

DPR – Development Plan Review

DPP – Development Plan Permit

IRC – International Residential Codes

UBC – Uniform Building Code

PCPOA – Pioneer Crossing Property Owners’ Association

Figure 1: Site Plan



II. ADMINISTRATIVE ORGANIZATION

A. Moreland Estates LLC

Moreland Estates LLC is a limited liability company formed to serve as the developer of the Pioneer Crossing development, and is the owner of the land according to records of the Clerk and Recorder of Gallatin County, Montana.

B. Farmall LLC

Farmall LLC is a limited liability company formed to serve as the developer of the Centennial Village development, and is the owner of the land according to records of the Clerk and Recorder of Gallatin County, Montana.

C. Pioneer Crossing Property Owners' Association

The Pioneer Crossing Property Owners' Association (PCPOA) is a non-profit corporation formed to implement, administer and enforce the "Declaration of Protective Covenants for Pioneer Crossing" and other pertinent documents. The members of this group are property owners within the Pioneer Crossing development. A Board of Directors represents this group and manages business and administrative affairs of the corporation.

D. Centennial Village Property Owners' Association

The Centennial Village Property Owners' Association, (CVPOA) is a non-profit corporation formed to implement, administer and enforce the "Declaration of Protective Covenants for Centennial Village" and other pertinent documents. The members of this group are property owners within the Centennial Village development. A Board of Directors represents this group and manages business and administrative affairs of the corporation.

E. Architectural Review Committee

The owners' associations created the Architectural Review Committee (ARC) for the purposes of creating, administering and enforcing the Design Guidelines for proposed development projects within Pioneer Crossing and Centennial Village. Review by the ARC will ensure that new projects exhibit design excellence and adherence to the Design Guidelines.

The ARC review process is conducted independently of Federal, State, County and/or City site or development review that may be required. Any application for new building or site development, as well as modifications to any building or site, shall be reviewed by the ARC to determine that they comply with the Design Guidelines.

III. SITE PLAN REVIEW

A. Development Subject to Review

The following types of development activities are subject to review by the ARC:

1. All new construction on all lots
2. Alterations or additions to exteriors of existing structures, including improvements, remodeling, and refinishing
3. Alterations to driveways, parking lot design and layout, and installation of sidewalks or other paths on all lots
4. Landscape modifications to the site unless in conformance with the approved landscape plan
5. Fences, including dog kennels and dog runs
6. Signs
7. House Numbering
8. Conditional Uses as defined in the Protective Covenants
9. Variances from the Protective Covenants
10. Occupancy Permits

B. Planning a Project

Before initiating the review process with the ARC, all property owners should take these preliminary steps to help them organize their project.

1. Consider the assistance of a professional design representative

These guidelines are not intended to replace those valuable services offered by professional designers in the engineering, architectural and landscape architectural fields. Property owners are strongly encouraged to engage the assistance of professionals to assist them in developing their projects.

2. Become familiar with other applicable Federal, State, County and/or City regulations and requirements

The Design Guidelines and Protective Covenants for Pioneer Crossing and Centennial Village supplement other relevant regulations and requirements. Although these documents layout the

principles for development, property owners should become familiar with other applicable regulations and processes as they relate to development in Pioneer Crossing and Centennial Village.

3. Become familiar with these Design Guidelines

This document will assist in creating a project that is of high quality in design and function provided that the guidelines herein are followed closely. The ARC is available to answer questions concerning these standards and guidelines and other development related issues.

4. Schedule a Pre-Application Meeting

The ARC should be contacted to arrange a Pre-Application Meeting to discuss conceptual development proposals. This meeting is mandatory prior to submitting a formal Development Plan Review application.

5. Prepare and submit a complete package of review materials

By preparing and submitting a complete and thorough application, the ARC can better review the development plan for content and thus render a decision with greater ease. By following the requirements stated below for each application type, the development proposal can be more quickly evaluated by the ARC.

C. Scheduling, Submittal Requirements and Approval Terms

All development in Pioneer Crossing and Centennial Village will be subject to review and approval by the ARC. The ARC will make every effort to conduct the review of all applications within the time limits described below. Extenuating circumstances, either due to the applicant or the ARC, may necessitate a change in schedule or meeting times. A change of schedule will be agreed upon mutually by both parties and rescheduled accordingly.

The ARC will offer feedback on the development proposal based on the submitted materials and is available for advice and direction during the planning and design process.

A fee of \$250 will be charged for all new construction architectural review, and must be submitted with the initial DPR (described below). Any plans requiring extraordinary review measures will be charged additional fees, based on a time and material fee schedule. These fees are subject to change and the property owner should contact the ARC regarding the most current review fees.

1. Mandatory Pre-Application Meeting

A Pre-Application meeting with the ARC is required for all development proposals within Pioneer Crossing and Centennial Village. The purpose of this meeting is to discuss the project at an informal level and for the property owner to obtain feedback from the ARC. The pre-application meeting is also a good time to resolve any questions regarding the application and approval process and to address design issues.

2. Development Plan Review (DPR)

Property owners should apply for a Development Plan Review (DPR) within 60 days of the mandatory pre-application meeting, and submit the required materials for a DPR.

Within 30 days of submittal, the ARC may return comments on the site plan or other aspects of the development proposal. At this time, the applicant has 180 days to correct and resubmit revised plans and materials, if necessary, to provide assurance that the proposal is addressing all of the ARC’s comments.

The Development Plan Permit (DPP) is effective for 12 months from the date of issue. If construction or work authorized with this permit is not commenced within six (6) months from the date of issue, or if construction or work is suspended for a period of three (3) months, the permit will be suspended.

An applicant may request, in writing, an extension of the permit 30 days before the expiration date of the original permit setting forth reasons for the request. The ARC may grant an extension if it is found that no change in the development proposal or circumstances has occurred that adversely affect the adjacent property owner or the integrity of Pioneer Crossing or Centennial Village. A written approval or denial of the request for extension will

be mailed to the applicant within three (3) business days of receiving the request for extension. This decision is final and may not be appealed by the applicant.

All exterior construction shall be completed within 12 months from the date building construction commences, or 24 months after approval of the DPP, whichever is sooner. This includes construction of the exterior of all structures, construction of all required parking and placement of required landscaping. An occupancy permit must be issued within 13 months after start of construction, or within 25 months of approval of the DPP, whichever is sooner.

It should be noted that the Town of Manhattan or other jurisdictional agencies require separate permitting prior to construction.

3. Conditional Use Permit

If a development proposal, use or alteration on a property is classified as a conditional use per the Protective Covenants, then a Conditional Use Permit Application shall be filed with the ARC. If the CUP requires development subject to review as defined in III.A, the CUP application is to be reviewed concurrent with the DPP application by the ARC.

A conditional use shall be granted only if the ARC finds that the proposal adheres to the following requirements:

- a. The use, development or alteration on a property conforms to the objectives and intent of the Protective Covenants; and
- b. The use, development or alteration on a property will not adversely affect nearby properties or their occupants or be detrimental to the public health, safety, or welfare of persons working or residing on those properties; and
- c. The use, development or alteration on a property meets density, lot coverage, yards, setback, height, and all other regulations of the district in which it is to be located, unless otherwise provided for in the Protective Covenants.

An approved Conditional Use Permit shall be issued for a term of one (1) year from the date of issuance. An applicant may request, in writing, an extension 30 days before the expiration date of the original permit setting forth reasons for the request. The ARC may grant an extension if it is found that no change in the development proposal or circumstances has occurred that adversely affects the adjacent property owner or the integrity of Pioneer Crossing or Centennial Village. A written approval or denial of the request for extension will be mailed to the applicant within ten (10) business days of receiving the application. This decision is final and may not be appealed by the applicant.

Please note that the Town of Manhattan may require a separate Conditional Use Permit application. The application for this permit will be contingent on the applicant first receiving approval from the ARC for the conditional use.

4. Variance Permit

An applicant may request a variance for a development proposal from the requirements of the Protective Covenants. A variance may be granted by the ARC provided that the variance will not be contrary to public interest, and owning to special conditions, will result in an unnecessary hardship to the property owner and not a mere inconvenience. This application is to be reviewed concurrent with the DPP application by the ARC.

A variance shall be granted or approved only if the ARC finds that the development proposal adheres to the following requirements:

- a. That the development proposal does not constitute a change of use for that parcel; and
- b. Exceptional or extraordinary circumstances apply to the property for which a variance is sought that do not apply generally to other properties in the same zoning district or vicinity and that result from a tract or lot size or shape, topography, or other circumstances over which the applicant has had no control since adoption of the Protective Covenants; and
- c. Special donations and circumstances do not result from the actions of the applicant; and

- d. That granting of the variance will not confer a special privilege to the subject property that is not extended to other lands in the same district; and
- e. Granting of the variance will not be injurious to the property or detrimental to the public welfare of adjacent properties; and
- f. The variance is the minimum possible and is a reasonable use of the land; and
- g. That the variance will be in harmony with the general purpose of the Protective Covenants and will not be injurious to the neighborhood or other wise detrimental to the public welfare; and
- h. That the factor of profitability of a property will not be used as a reason to apply for a variance.

An approved variance shall be issued for a term of one (1) year from the date of issuance. An applicant may request, in writing, an extension 30 days before the expiration date of the original permit setting forth reasons for the request. The ARC may grant an extension if it is found that no change in the development proposal or circumstances has occurred that adversely affect the adjacent property owner or the integrity of Pioneer Crossing and Centennial Village. A written approval or denial of the request for extension will be mailed to the applicant within ten (10) business days of receiving the request for extension. This decision is final and may not be appealed by the applicant.

Please note that it may be necessary to submit a separate variance application to the Town of Manhattan Planning Board. The application for this permit will be contingent on the applicant first receiving approval from the ARC for the variance.

5. Occupancy Permit

Prior to occupancy of a building, the applicant shall submit an application to the ARC for an Occupancy Permit. The applicant shall ensure that the building has been inspected, as required, by the Building Inspector, the applicant's design representative (architect or engineer) and other applicable professionals. A member of the ARC will schedule an on-site inspection to review the as-built project.

If the ARC finds that the project is acceptable, however finds that there are non-critical aspects of the project that need to be completed, then the ARC will issue an approval letter for occupancy on the condition that the applicant financially guarantee that the outstanding improvements will be completed. The financial guarantee will be for one and one-half times the cost necessary to complete the improvements.

In the event that a ARC inspector finds inadequacies or inconsistencies between the approved DPP and the as-built project, they shall notify the applicant within three (3) business days. These inadequacies or inconsistencies shall be corrected before the Occupancy Permit is granted.

6. Signs

All signs – relocated, new, temporary, permanent, or remodeled – shall be designed and installed according to the Protective Covenants. Property owners and/or tenants shall apply for and receive sign approval through the ARC prior to submitting to the Town of Manhattan for permitting.

7. Town of Manhattan Application Procedures and Information

In addition to the review and approval process required by the ARC, all development proposals at Pioneer Crossing and Centennial Village may also be subject to review and approval by the Town of Manhattan. This review and approval process is outlined in the “Town of Manhattan Zoning Regulations.” There may be additional fees associated with the town’s review and approval process or services.

The ARC encourages all property owners to become familiar with the permitting procedures of the Town of Manhattan.

IV. PIONEER CROSSING DESIGN GUIDELINES

These Design Guidelines apply to all proposed development in Pioneer Crossing.

A. Site Design

Driveways and Parking

- On-street parking shall be limited to temporary parking. No overnight on-street parking is permitted.

Sidewalks

- All sidewalks shall be five (5) feet in width and constructed according to Montana Public Works Standard Specifications (MPWSS) and meet the requirements of the American Disabilities Act (ADA).
- All sidewalks shall be installed at completion of construction, or within three (3) years of closing on a lot, whichever is sooner.
- Maintenance and upkeep of sidewalks adjacent to private lots shall be the responsibility of individual property owners. Repair or replacement may be directed by the PCPOA.
- Maintenance and upkeep of sidewalks adjacent to common space or open areas shall be the responsibility of the PCPOA.

Snow Removal

- The PCPOA will provide snow removal for all streets within Pioneer Crossing.
- All property owners shall provide their own plowing and shoveling for the sidewalks adjacent to their property lines.

Stormwater and Drainage

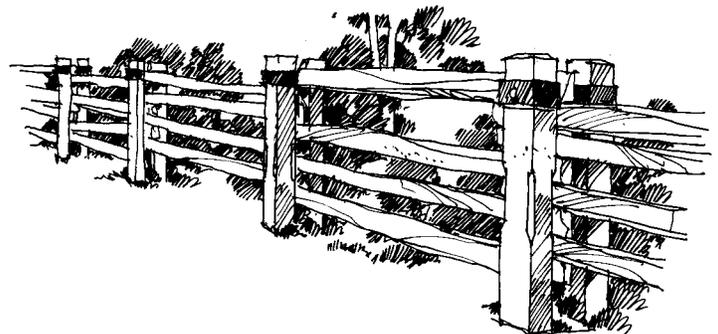
- All stormwater shall be directed to the streets, where it will be collected and transported to the retention ponds.
- All lots shall direct stormwater runoff and snow melt into open space on the lot. No property owner may direct stormwater runoff and snow melt onto an adjacent lot.

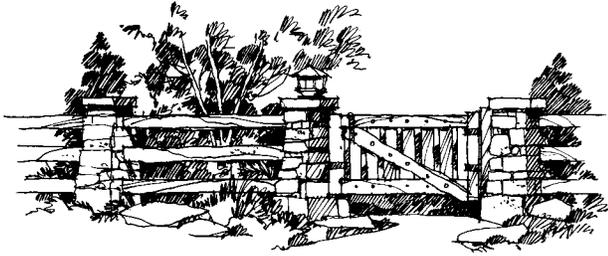
Trash Enclosure/Container

- All residences shall provide at least one (1) trash container.
- Trash containers should be approved by the contracted trash collector and should be stored out of site of adjoining property owners, with the exception of trash collection days.
- The trash enclosures and containers shall be maintained in good condition at all times.

Fences

- All fences shall be approved by the ARC prior to installation.
- Fences are prohibited in front yards. For the purpose of fence locations, the front yard is measured from the front building wall of the building, where it meets with the side building wall, extending the distance to the front property line.
- Fences shall be finished on both sides.
- Fences or enclosures shall have at least one perimeter access point for the property or space in which it provides enclosure.
- Chain link fences are prohibited
- Appropriate materials for perimeter fences in all locations are painted or stained wood, stone or masonry, wrought iron or cast metal.
- Inappropriate materials for perimeter fences are chain link, slatted "snow" fences, and mesh "construction" fences.
- Fencing shall be five (5) feet or lower except when within twenty-five (25) feet of street intersection, in which case the fence shall be no taller than three (3) feet.
- Illustrations of acceptable fence styles are shown below:





Lighting

- Reference the Protective Covenants for lighting requirements in Pioneer Crossing.
- Site lighting shall be scaled appropriately for the property on which it is located.
- The developer has chosen street lighting for Pioneer Crossing. The applicant should coordinate the location of other streetscape features such as trees and sidewalks with the ARC early in the design process.

Outdoor Storage

- All storage on all lots shall be contained within the confines of the building, a garage or approved shed.

B. Landscape Design

All landscape plans must comply with the following mandatory landscape provisions of this section.

These landscaping requirements are essential to providing Pioneer Crossing with an attractive and ecologically balanced environment that provides positive experiences for residents and visitors alike. These requirements provide for the buffering of properties from wind and snow; the screening of properties from pedestrian trails and areas; the preservation and enhancement of land value; the conservation of water and the use of native or naturalized plant species; and the development of enjoyable and pleasant environments for all.

Landscape plans shall be reviewed and approved by the ARC prior to installation, and must be compliant with the Town of Manhattan tree species guidelines.

The property owner shall install all street trees within the right-of-way adjacent to residential lots per the Protective Covenants. Small trees (less than 25' in height at maturity) should be Canada Red Chokecherry (*Prunus virginiana*), Amur Maple

(*Acer ginnala*), Tartarian Maple (*Acer tataricum*), or Japanese Tree Lilac (*Syringa reticulata*). Medium trees (25' – 50' in height at maturity) should be Black Ash (*Fraxinus nigra*), Green Ash (*Fraxinus pennsylvatica*), Hackberry (*Celtis occidentalis*), Honeylocust – thornless (*Gleditsia triacanthos*), or Ohio Buckeye (*Aesculus glabra*). Large trees (over 50' in height at maturity) should be American Elm (*Ulmus Americana*), Bur Oak (*Quercus macrocarpa*), or Littleleaf Linden (*Tilia cordata*). A variety of the above-named species should be planted in the street right-of-ways.



Acceptable Plant Materials

- Plant material palettes shall be simple and durable in nature.
- Landscape plans should provide for dense plantings of evergreens to provide a visual buffer between different uses.
- Landscape materials used shall be chosen for their drought tolerance, native and/or naturalized characteristics, and ability to weather the climate/planting zones associated with the Gallatin Valley.
- No artificial plant material shall be used to satisfy the requirements of landscape materials.
- Landscapes shall not include plantings of a noxious weed classification, as determined by the Gallatin County Weed Control District, including but not limited to soil or seed mixtures containing spotted knapweed, leafy spurge, oxeye daisy, houndstongue, yellow toadflax, yellow sweet clover, common tansy and Canada thistle.

- A natural look may be achieved with the use of non-native species that are deemed to be well-suited for the Manhattan area. Ornamental grasses are encouraged to emulate the native Montana prairie grasses.

Plant Sizes

- All plant material installed shall conform to the following minimum size requirements at time of installation.
Required plant sizes:
-Large Deciduous Canopy Trees: 1 ½ to 2 inch caliper
-Large Coniferous Tree: 8 feet tall B & B
-Small Ornamental Tree: 2 inch caliper
-Small Coniferous Tree: 6 feet tall B & B
-Med-Lg. Deciduous Shrub: 5-gallon container
-Med-Lg. Evergreen Shrub: 5-gallon container
-Perennial: 1 gallon container

Irrigation

- The use of drought tolerant or naturalized plant species is highly recommended to reduce dependence on irrigation.
- All landscape on all lots and within street boulevards shall be watered by a permanent, automatic irrigation system installed by a qualified irrigation contractor.

Maintenance, Completion and Warranty

- All landscaping shall be installed within 6 months of the completion of construction, or within such period as may be reasonably necessary as dictated by weather conditions.
- Property owners shall maintain all landscapes within their property in a healthy and good condition throughout the growing season.

Conflict with Utilities

- All landscape plans shall clearly illustrate all existing and proposed utilities and infrastructure, both in plan and legend.
- All landscaping and irrigation installation shall begin only after a thorough utility location survey is completed.
- All trees, including those planted in the right-of-way, shall be planted at least ten (10) feet from all utility lines.

- All plantings and irrigation within utility easements shall begin only after discussing their locations with the appropriate utility providers.

Site Grading

- All lots within Pioneer Crossing shall discharge excessive stormwater into the streets.
- All grading and drainage shall provide for the adequate removal of water from around buildings and structures and from walkways and paths.
- Surface drainage shall not be directed onto adjacent properties, whether public or private.

C. Building Design

Energy Efficiency

- Homes shall be designed to be energy efficient and should incorporate industry standard materials to achieve this.

Building Height

- All buildings shall be constructed to be within the height requirements as described in the Protective Covenants.

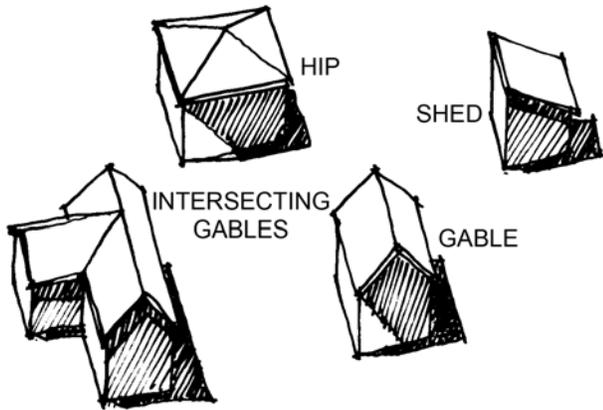
Garages

- Garages may be attached or detached.
- Front-facing, attached garages shall be recessed a minimum of fifteen (15) feet from the front building facade of the house.
- Side-loaded attached garages can be flush with the front line of the house.
- Detached garages should be placed to the rear of the property.
- Per the Protective Covenants, there shall be an allowance on 105 specified lots for the construction of an accessory dwelling unit over or attached to a detached garage.

See Chapter VIII. Examples of Building Design & Conceptual Lot Layouts

Roofs

- Pitched roofs, such as gable, hip and shed roofs, should overhang at least two (2) feet over the outside wall.



Architectural Features

- The application of stone masonry as an accent building material is encouraged in home design.
- New, creative interpretations of architectural details that express the spirit of craftsman and bungalow simplicity are encouraged.
- The minimum requirements for all fascia board is 2” x 6”.
- Exposed rafter ends on the front façade of the house are encouraged.

Exterior Materials

- Exterior building materials should accentuate interesting building forms and elements.
- Quality materials should be used to provide a strong sense of lasting value.
- Materials that reflect a relationship between the built and natural environment of this unique location should be used.
- The use of indigenous materials is strongly recommended.
- Stone used on exteriors shall be installed with a dry stack appearance. In other words, the mortar should not be visible from the street. Examples of acceptable stone are Montana Antique, Prairie Fieldstone and Montana Bronze.

Colors

- All homes shall use at least three different, but complimentary colors on the exterior.
- Materials and colors shall be harmonious with the surrounding site.
- Exterior building colors shall emphasize earth tones fitting with the natural, surrounding environment.

- Trim and other accentuating details of the building may be finished in contrasting color schemes to add interest.
- Color of garage or other ancillary buildings shall match that of the main residence.

Decks, Porches and Patios

- Front porches are required on all residences within Pioneer Crossing.
- Decks and patios are encouraged and shall be integrated into the overall design.
- Decks and porches shall be designed to handle snow and drift loads as well as possible shedding snow from roof overhangs above.
- On all patios, positive drainage away from the building shall be maintained.



Example of a Front Porch

Alterations and Additions

- Normal repair and maintenance does not include alterations and additions.

V. CENTENNIAL VILLAGE DESIGN GUIDELINES

A. Site Design

These Design Guidelines apply to all proposed development in Centennial Village.

Residential Parking

All parking areas shall be designed and installed according to the following requirements.

- All residential property owners shall be required to install two paved off-street parking spaces (in addition to garages) per the Protective Covenants.
- Parking spaces shall be accessed via the alley only.

Commercial Parking

All parking lots or parking areas shall be designed and installed according to the following requirements.

- All parking lots shall be constructed with standard 6" curb. All planting beds or islands within the parking lot shall also be constructed with curb.
- Parking lots may be constructed of modular pavers, concrete or asphalt.

Sidewalks

- All sidewalks shall be five (5) feet in width and built to Montana Public Works Standard Specifications (MPWSS) and meet the requirements of the American Disabilities Act.
- All sidewalks shall be installed at completion of construction, or within three (3) years of closing on a lot, whichever is sooner.
- Maintenance and upkeep of sidewalks adjacent to private lots shall be the responsibility of individual property owners. Repair or replacement may be directed by the CVPOA.
- Maintenance and upkeep of sidewalks adjacent to common space or open areas shall be the responsibility of the CVPOA.

Snow Removal

- The CVPOA will provide snow removal for all the streets within Centennial Village.
- All lots shall provide their own plowing and shoveling for all sidewalks adjacent to their property lines and to the edge of the curb for their driveways.
- Each commercial area parking lot shall provide adequate snow storage area for excessive snowfall during the winter months.
- The snow storage areas should be well-integrated into the storm water management system and grading and drainage of the site.
- The snow storage areas should be attractive and well drained during the summer months, in order to maintain a pleasant appearance of these areas and not allow standing water to form.

Stormwater and Drainage

- All stormwater shall be directed to the streets, where it will be collected and transported to the retention ponds.

Trash Enclosure/Container

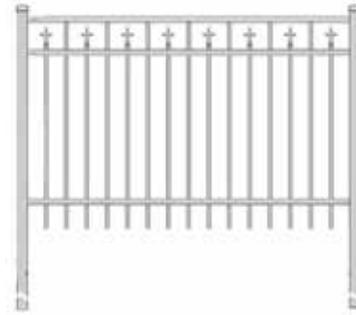
- All residences shall provide at least one (1) trash container and/or enclosure per building or unit.
- All commercial properties shall provide trash enclosures or containers that are totally screened from parking lots, sidewalks, adjacent public or private streets, adjacent residential properties or dissimilar land uses by means of a durable enclosure.
- The contracted trash collector shall approve all trash containers.
- Residential containers shall be stored out of sight of adjacent property owners, and accessed via the alley.
- All trash enclosures and containers should be maintained in good condition at all times.

Fences

- All fences shall be approved by the ARC prior to installation.
- Fences are prohibited in front yards. For the purpose of fence locations, the front yard is measured from the front building wall of the building, where it meets with the side building

wall, extending the distance to the front property line.

- Fences shall be finished on both sides.
- Fences or enclosures shall have at least one perimeter access point for the property or space in which it provides enclosure, with the exception of the fence line adjacent to Montana Railink property.
- Chain link fences are prohibited
- Appropriate materials for fences in all locations are painted wood, stone or masonry, wrought iron or cast metal, or other traditional neighborhood fencing materials in keeping with the character of Centennial Village.
- Inappropriate materials for fences are chain link, slatted “snow” fences, and mesh “construction” fences.
- Fencing shall be five (5) feet or lower except when within 25 of street intersection, in which case is shall be no taller than three (3) feet. Fences adjacent to Montana Railink property, and extending to the rear line of the rear of Block 20, Lots 1-5 and Block 23, Lots 1-15 shall be a minimum of eight (8) feet in height and constructed of a material chosen by the developer.
- Below are illustrations of typical acceptable residential lot fence styles, however fence design is not limited to these styles:



Lighting

- Reference the Protective Covenants for lighting requirements in Centennial Village.
- Site lighting shall be scaled appropriately for the property on which it is located.
- Street lighting fixtures have been chosen by the developer. The applicant should coordinate the location of other streetscape features such as trees and sidewalks with the ARC early in the design process.
- Alley lights must be limited to a single fixture on a motion-sensitive switch.

Outdoor Storage

All storage on all lots shall be contained within the confines of the building, a garage or approved shed, with the exception of Block 23, Lots 1-15. These lots will allow for outdoor storage within the minimum eight (8) feet walls.

Landscape Design

All landscape plans must comply with the following mandatory landscape provisions of this section.

These landscaping requirements are essential to providing Centennial Village with an attractive and ecologically balanced environment that provides positive experiences for residents and visitors alike. These requirements provide for the buffering of properties from wind and snow; the screening of properties from pedestrian trails and areas; the preservation and enhancement of land value; the conservation of water and the use of native or naturalized plant species; and the development of enjoyable and pleasant environments for all.

Landscape plans shall be reviewed and approved by the ARC prior to installation, and must be compliant with the Town of Manhattan tree species guidelines.

The property owner shall install all street trees within the right-of-way adjacent to residential lots per the Protective Covenants. Small trees (less than 25' in height at maturity) should be Canada Red Chokecherry (*Prunus virginiana*), Amur Maple (*Acer ginnala*), Tartarian Maple (*Acer tataricum*), or Japanese Tree Lilac (*Syringa reticulata*). Medium trees (25' – 50' in height at maturity) should be Black Ash (*Fraxinus nigra*), Green Ash (*Fraxinus pennsylvatica*), Hackberry (*Celtis occidentalis*), Honeylocust – thornless (*Gleditsia triacanthos*), or Ohio Buckeye (*Aesculus glabra*). Large trees (over 50' in height at maturity) should be American Elm (*Ulmus Americana*), Bur Oak (*Quercus macrocarpa*), or Littleleaf Linden (*Tilia cordata*). A variety of the above-named species should be planted in the street right-of-ways.



Acceptable Plant Materials

- Plant material palettes shall be simple and durable in nature.
- Landscape materials used shall be chosen for their drought tolerance, native and/or naturalized characteristics and ability to weather the climate/planting zones associated with the Gallatin Valley.
- No artificial plant material shall be used to satisfy the requirements of landscape materials in the front yards of any residential property.
- Landscapes shall not include plantings of a noxious weed classification, as determined by the Gallatin County Weed Control District, including but not limited to soil or seed mixtures containing spotted knapweed, leafy spurge, oxeye daisy, houndstongue, yellow toadflax, yellow sweet clover, common tansy and Canada thistle.
- Simple, bold forms in planting areas with massing of a few hardy species are preferred to sporadic and singular plantings of marginal species.
- A natural look may be achieved with the use of non-native species that are deemed to be well suited for the Manhattan area. Ornamental grasses are encouraged to emulate the native Montana prairie grasses.

Plant Sizes

- All plant material installed shall conform to the following minimum size requirements at time of installation.
Required plant sizes:
-Large Deciduous Canopy Trees: 1 ½ – 2 inch caliper
-Large Coniferous Tree: 8 feet tall B & B
-Small Ornamental Tree: 2 inch caliper
-Small Coniferous Tree: 6 feet tall B & B
-Med-Lg. Deciduous Shrub: 5-gallon container
-Med-Lg. Evergreen Shrub: 5-gallon container
-Perennial: 1 gallon container

Native Landscaping

- “Native” or naturalized plant materials shall be used in preference to introduced or experimental species.
- Areas replanted with “native” plant materials shall be planted with similar species and similar plant material sizes.

Irrigation

- The use of drought tolerant or naturalized plant species is highly recommended to reduce dependence on irrigation during the dry season in the Gallatin Valley.
- All landscaped areas – including street boulevards – shall be watered with a permanent, automatic irrigation system installed by a qualified irrigation contractor.

Screening and Buffering

- All plant material used for screening or buffering shall be installed according to the minimum sizes stated in the "Acceptable Landscape Materials," section of this document.
- All commercial lots adjacent to residential areas or parks or open space shall screen that

commercial use, especially parking and loading areas, by means of landscape plantings.

- Landscape plans should provide for dense plantings of evergreens to provide a visual buffer between different uses.

Maintenance, Completion and Warranty

- All landscaping shall be installed within 6 months of completion of construction, or within such period as may be reasonably necessary as dictated by weather conditions.
- Property owners shall maintain all landscapes within their property in a healthy and good condition throughout the growing season.

Conflict with Utilities

- All landscape plans shall clearly illustrate all existing and proposed utilities and infrastructure, both in plan and legend.
- All landscaping and irrigation installation shall begin only after a thorough utility location survey is completed.
- All trees, including those planted in the right-of-way, shall be planted at least ten (10) feet from all utility lines.
- All plantings and irrigation within utility easements shall begin only after discussing their locations with the appropriate utility providers.

Site Grading

- All lots within Centennial Village shall discharge excessive stormwater into the streets.
- All grading and drainage shall provide for the adequate removal of water from around buildings and structures and from walkways and paths.
- Surface drainage shall not be directed onto adjacent properties, whether public or private.
- Ensure that pedestrian areas are free of ice buildup, which could create hazardous situations.

C. Building Design

Energy Efficiency

- Commercial buildings should incorporate active and/or passive solar elements.

- Buildings shall be designed to be energy efficient and should incorporate industry standard materials to achieve this.

Building Height

- The Protective Covenants building height requirements shall apply to all buildings.

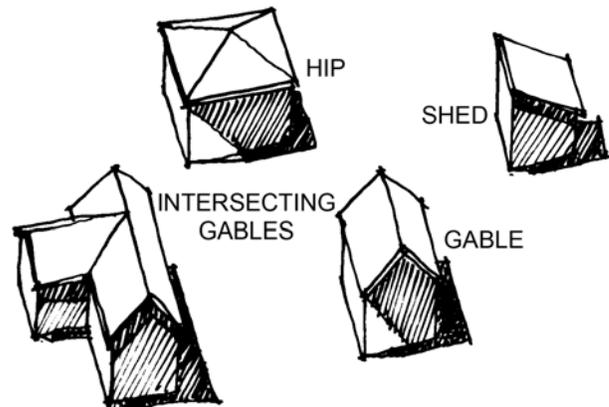
Residential Garages

- Residential property owners are required to construct a garage to the rear of each property, accessible via the alley.
- Placement and size of garages shall be per the Protective Covenants.

See Chapter VIII. Examples of Building Design & Conceptual Lot Layouts

Roofs

- Pitched roofs, such as gable, hip and shed roofs, should overhang at least sixteen (16) inches over the outside wall.
- Metal roofs are allowed on the warehouse portion of commercial buildings, subject to review and approval by the ARC.



D. Commercial Architecture

These Design Guidelines only apply to proposed commercial development in Centennial Village.

Architectural Features

The design of commercial building will be dictated by the specific use of each building. However, the

following should be considered during building design:

- Commercial buildings within Centennial Village, including office / warehouse space, are located within a residential neighborhood, thus the site designs supporting such an atmosphere are encouraged (for example, park-like landscape buffer between sidewalk and parking areas).
- Two-story office buildings are encouraged in front of the warehouse buildings, however if not possible then the actual façade may be constructed to look as if two stories exist.
- If combination office/warehouse, then office section of building shall be at least 30 feet deep from front building wall to rear building wall.
- Front building facades shall have detailed or expressed cornices that are constructed of durable materials. These should accentuate the horizontal and linear form of the front building façade.
- Commercial buildings shall conform to the size, height and setback requirements set forth in the Protective Covenants.

Exterior Materials

- Exterior building materials should accentuate interesting building forms and elements.
- Quality materials should be used to provide a strong sense of lasting value.
- Materials that reflect a relationship between the built and natural environment of this unique location should be used.
- The use of indigenous materials is strongly recommended.
- The use of metal on the front façade (except for accent as noted above) is not allowed, but may be used on the side and rear of any warehouse portion of commercial buildings. Metal awnings may be utilized for shade or streetscape details.
- The following finishes and materials are encouraged in the design of the front elevation of commercial buildings. Using a combination of these materials can enhance the integrity and appeal of the streetscape.
 - Brick masonry (tumbled or reclaimed brick preferred)
 - Suede stucco
 - Hardi-plank or other lap siding of equal or better quality

-Distressed or “aged” corrugated metal (as accent only)

-Pre-cast cornices, window sills, or other architectural features are encouraged for front building facades

-Dryvit or similar materials of equal quality should be used in limited amounts and only where it compliments other building materials

Colors

- Materials and colors shall be harmonious with the surrounding site.
- Exterior building colors shall emphasize earth tones fitting with the natural, surrounding environment.
- Trim and other accentuating details of the building may be finished in contrasting color schemes to add interest.

See Chapter VIII. Examples of Building Design.

E. Residential Architecture

These Design Guidelines only apply to proposed residential development in Centennial Village.

Architectural Features

- All homes shall be built to UBC or IRC codes.
- Permanent foundations are required for all homes.
- Homes shall have, at a minimum, two (2) architecturally interesting features, such as dormer windows, dormer accents, gables, intersecting gables, recessed front entry, etc.
- Traditional basements are permitted; however, the elevation of the home may not be raised such that a daylight or walkout basement is created.
- Rooflines shall be articulated so that uninterrupted expanses of roof are not dominant.
- Minimum roof pitch for residences shall be 6:12.
- Homes shall conform to the size, height and setback requirements set forth in the Protective Covenants.

Exterior Materials

- Exterior building materials should accentuate interesting building forms and elements.

- Quality materials should be used to provide a strong sense of lasting value.
- Materials that reflect a relationship between the built and natural environment of this unique location should be used.
- The use of indigenous materials is strongly recommended.
- The following finishes and materials are encouraged in the design of the front elevation of residences. Using a combination of these materials can enhance the integrity and appeal of the neighborhood.
 - Hardi-plank or other lap siding of equal or better quality (use as main finish material)
 - Brick or stone masonry
 - Dryvit or stucco, or similar types of materials, should be used in limited amounts

Colors

- Three different colors shall be used on all homes. The siding color shall be the primary color used. Two secondary colors may be used that compliment the primary color.
- Trim and other accentuating details of the building may be finished in brighter or contrasting color schemes to add interest.
- The color and accent trim of residential garages or other ancillary buildings shall match that of the residence.

Decks, Porches and Patios

- Front porches are required on all residential buildings within Centennial Village, and shall be integrated into the overall design. These porches shall span at least one half the width of the residence.
- Porch roofs shall be designed to handle snow and drift loads as well as possible snow shedding from roof overhangs above.
- On all patios, positive drainage away from the building shall be maintained.

See Chapter VIII. Examples of Building Design.

VI. CONSTRUCTION PROCEDURES

The developer has made every effort to ensure that development within Pioneer Crossing and Centennial Village is conducted in a manner that will compliment adjacent property owners within the community. However, it is recommended that all adjacent property owners wishing to propose development establish good communication with each other during the design and construction of improvements.

Adjacent property owners may coordinate site plans, access to lots, parking lots, pedestrian plazas and walkways, landscaping and perimeter treatments of their lots. They might consider opportunities to minimize the cost of site amenities by planning them together.

All property owners, developers and contractors shall ensure that all construction is performed in accordance with the following requirements:

A. Adjacent property is protected from damage during the construction process. If damage occurs, restoration to original conditions must be completed within 30 days of the occurrence.

B. Temporary structures, such as construction trailers, dumpsters and toilets shall be removed within 30 days of completion of construction and shall not be located where they might negatively impact adjacent properties. These structures shall not be stored or parked on the street. Temporary living structures, such as recreational vehicles, mobile homes and pull-behind trailers are prohibited.

C. Roadways shall be maintained and/or repaired as needed in order to prevent the excessive wear and tear caused by construction vehicles. All contractors shall park personal vehicles on dedicated public streets or within the confines of the property on which the construction is taking place. Construction equipment shall be stored or parked within the confines on which the construction is taking place. No overnight parking is allowed on public streets. Trailers shall be parked within the confines of the property on which construction is taking place.

D. Construction staging and storage of materials shall be located only on the lot on which construction is taking place and should be paved with two inches of ¾" gravel.

E. Construction vehicles shall only have access to the property from existing roads adjacent to the construction site.

F. The site plan, landscape plan or grading plan shall illustrate and call out plans for the control of erosion and vegetation/tree protection during the construction process. All surplus building and landscaping materials shall be promptly removed from the construction site following completion of the project.

G. No signs, other than one construction sign, shall be allowed on the site during the construction process per the Protective Covenants.

H. All construction sites shall have temporary water hookup. All sites shall also have an on-site enclosed portable toilet that should be kept clean at all times and be located to lessen impacts to adjacent properties. The portable toilets shall be removed promptly after construction is completed.

I. Construction activity is only permitted between 7 a.m. and 7 p.m. Monday through Saturday.

J. No burning of waste or use of incinerator cans shall be permitted.

K. All trash and construction debris shall be kept covered in appropriate refuse containers and emptied on a regular basis. Paving, landscaping and other contractors shall not dispose of leftover materials on adjacent private properties or on public roads or common spaces.

L. Property owners and their contractors are responsible for preventing the spread of noxious weeds. They are responsible for the decontamination of trucks, machinery, materials and tools brought in from outside areas.

M. The ARC, or their designated representative, has the right to enter the construction site to inspect construction at any time, including during routinely scheduled inspections for occupancy and during investigation for violations.

VII. CONTACTS

Pioneer Crossing Developer:

Moreland Estates, LLC
Vidar Companies, Inc. – Managing Member
P.O. Box 1175
120 S. Fifth, Suite A200
Manhattan, MT 59741
(406) 284-4306

Centennial Village Developer:

Farmall, LLC
Vidar Companies, Inc. – Managing Member
P.O. Box 1175
120 S. Fifth, Suite A200
Manhattan, MT 59741
(406) 284-4306

Architectural Review Committee:

c/o Vidar Companies, Inc.
P.O. Box 1175
120 S. Fifth, Suite A200
Manhattan, MT 59741
(406) 284-4306

PC Property Owners’ Association:

c/o Vidar Companies, Inc.
P.O. Box 1175
Manhattan, MT 59741
(406) 284-4306

CV Property Owners’ Association:

c/o Vidar Companies, Inc.
P.O. Box 1175
Manhattan, MT 59741
(406) 284-4306

Land Use, Planning, & Architecture:

Bechtle-Slade PC
701 E. Mendenhall
Suite 1
Bozeman, MT 59715
(406) 587-2518

Gaston Engineering
P.O. Box 861
211 Haggerty Lane
Bozeman, MT 59715
(406) 586-0588

Utility and Service Companies:

Town of Manhattan (water/sewer)
P.O. Box 96
Manhattan, MT 59741
(406) 284-3235

BFI Waste Services (trash removal)
8600 Huffine Lane
P.O. Box 10730
Bozeman, MT 59719
(406) 586-0606

Northwestern Energy (power/natural gas)
888-467-2669

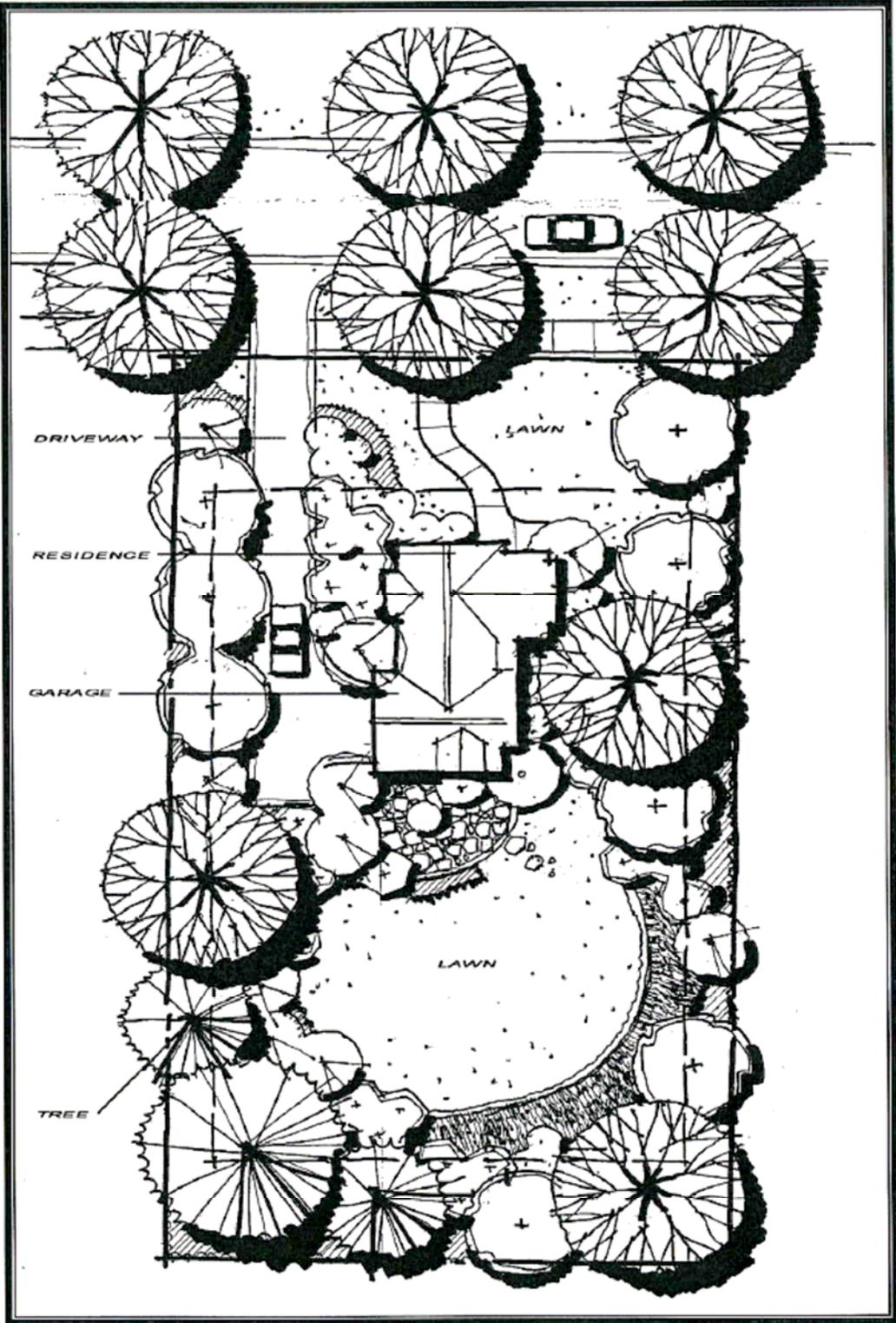
Bresnan Communications (phone/cable/internet)
877-273-7626
800-823-6766

VIII. EXAMPLES OF BUILDING DESIGN

Please note that the following pictures are included only as illustrations of intended architectural styles within Pioneer Crossing and Centennial Village. They are not meant to depict exact replications of any buildings to be built in either community.

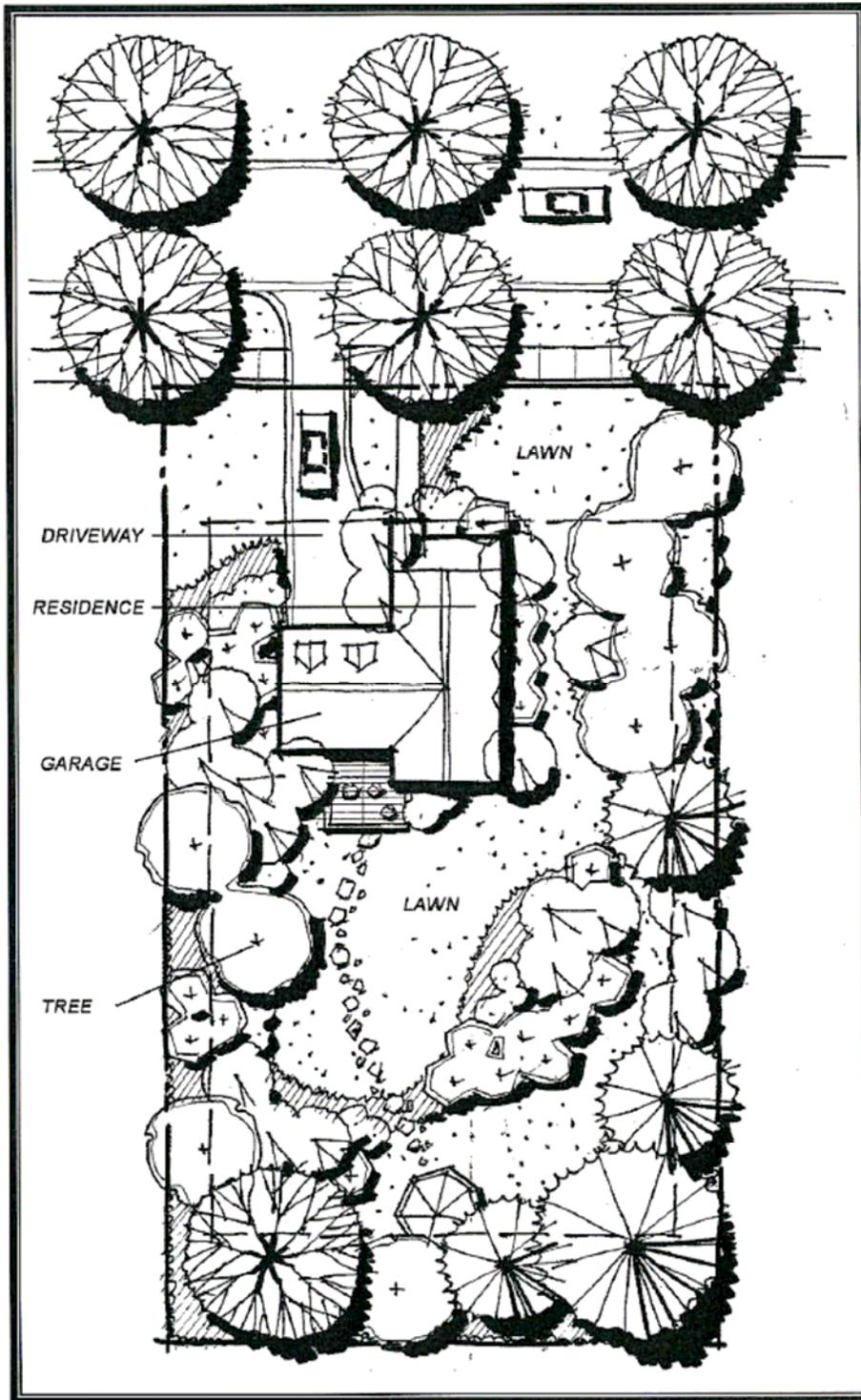
A. Pioneer Crossing Building Design Examples & Conceptual Lot Layouts





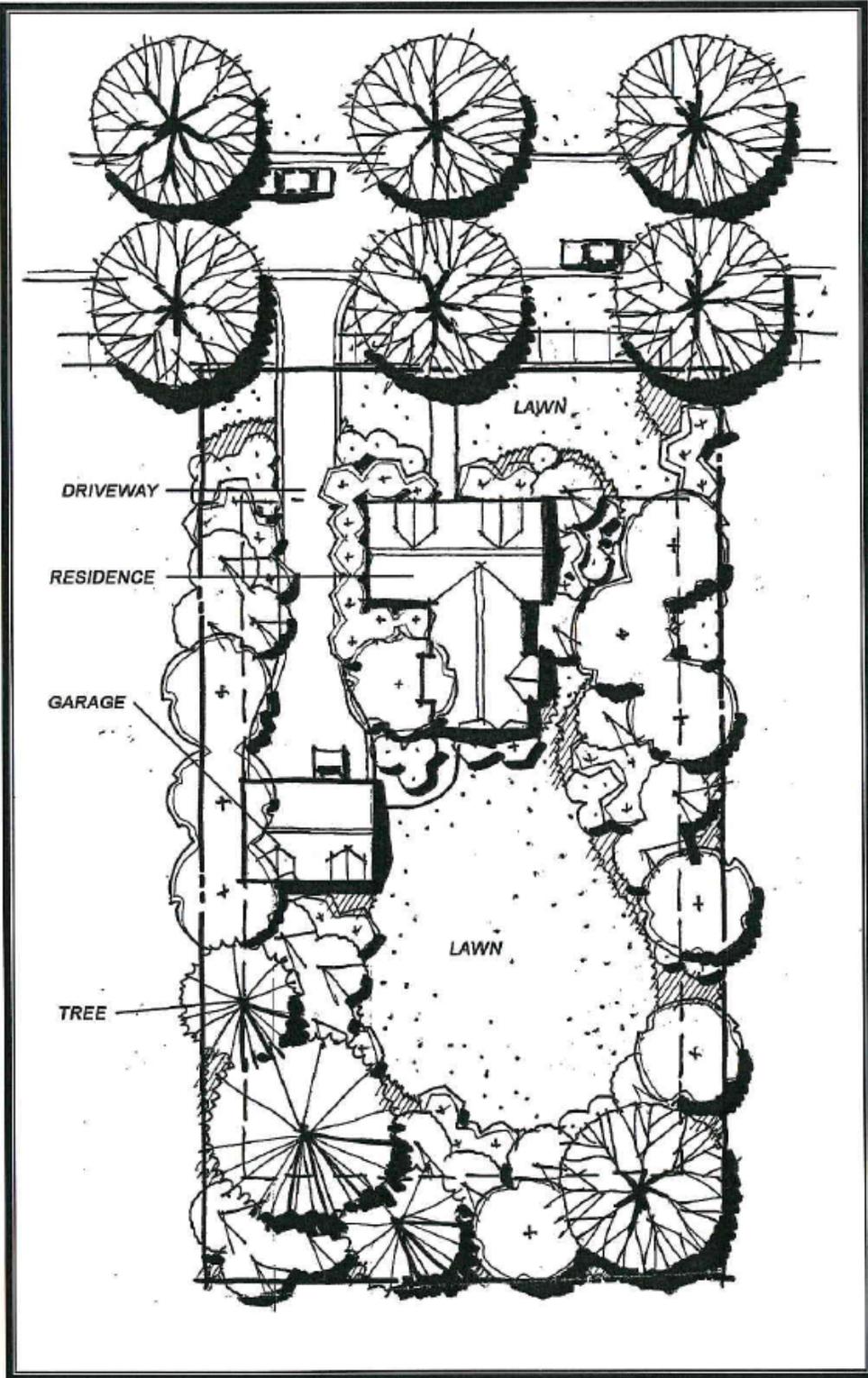
PIONEER CROSSING

RESIDENTIAL LOT
SIDE LOADING, ATTACHED GARAGE



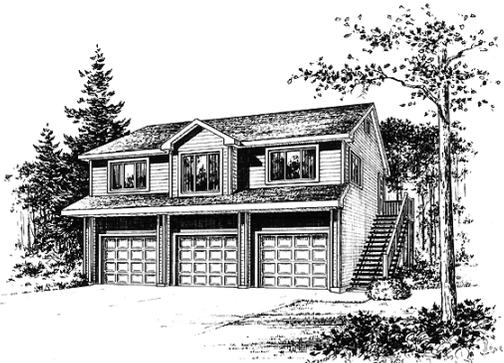
PIONEER CROSSING

RESIDENTIAL LOT
FRONT LOADING GARAGE (SETBACK
15 FEET MINIMUM FROM FRONT BUILDING FAÇADE)



PIONEER CROSSING
RESIDENTIAL LOT
FRONT LOADING, DETACHED GARAGE

B. Accessory Dwelling Unit Building Examples (*allowed in Pioneer Crossing only*)



C. Recreational Vehicle Storage Building Examples

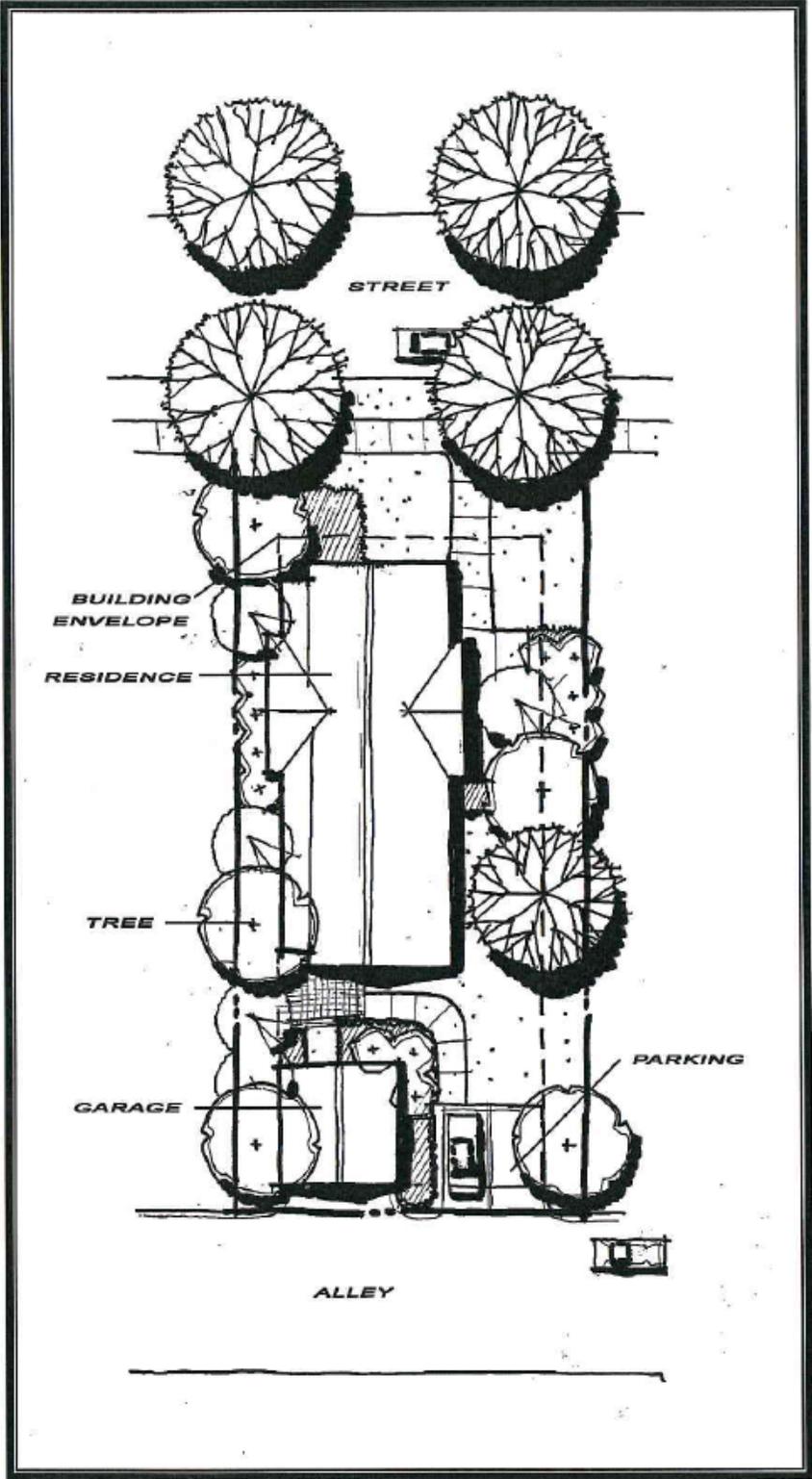


D. Centennial Village Residential Building Examples & Conceptual Lot Layout



D. Centennial Village Residential Building Examples (continued)





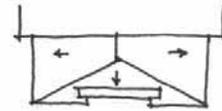
CENTENNIAL VILLAGE

HOME LOT LAYOUT

E. Centennial Village Commercial Building Examples & Conceptual Lot Layout

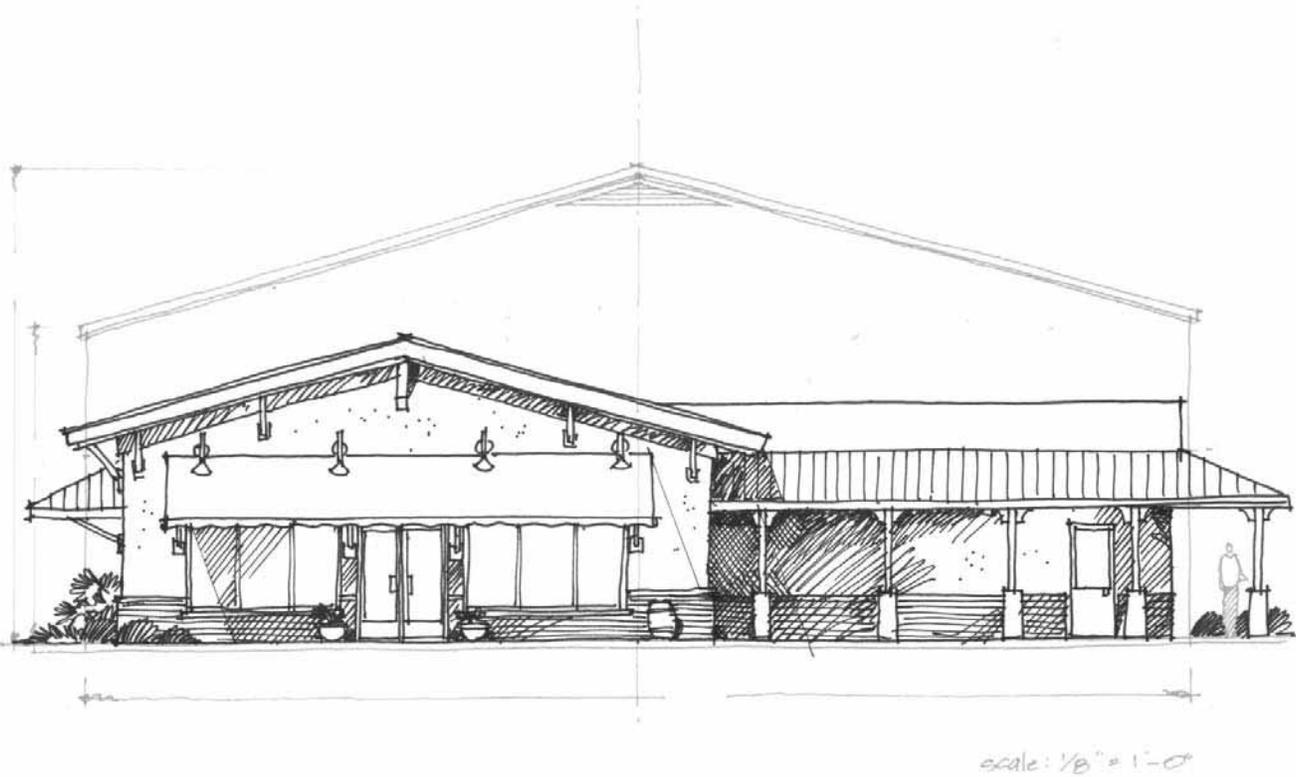


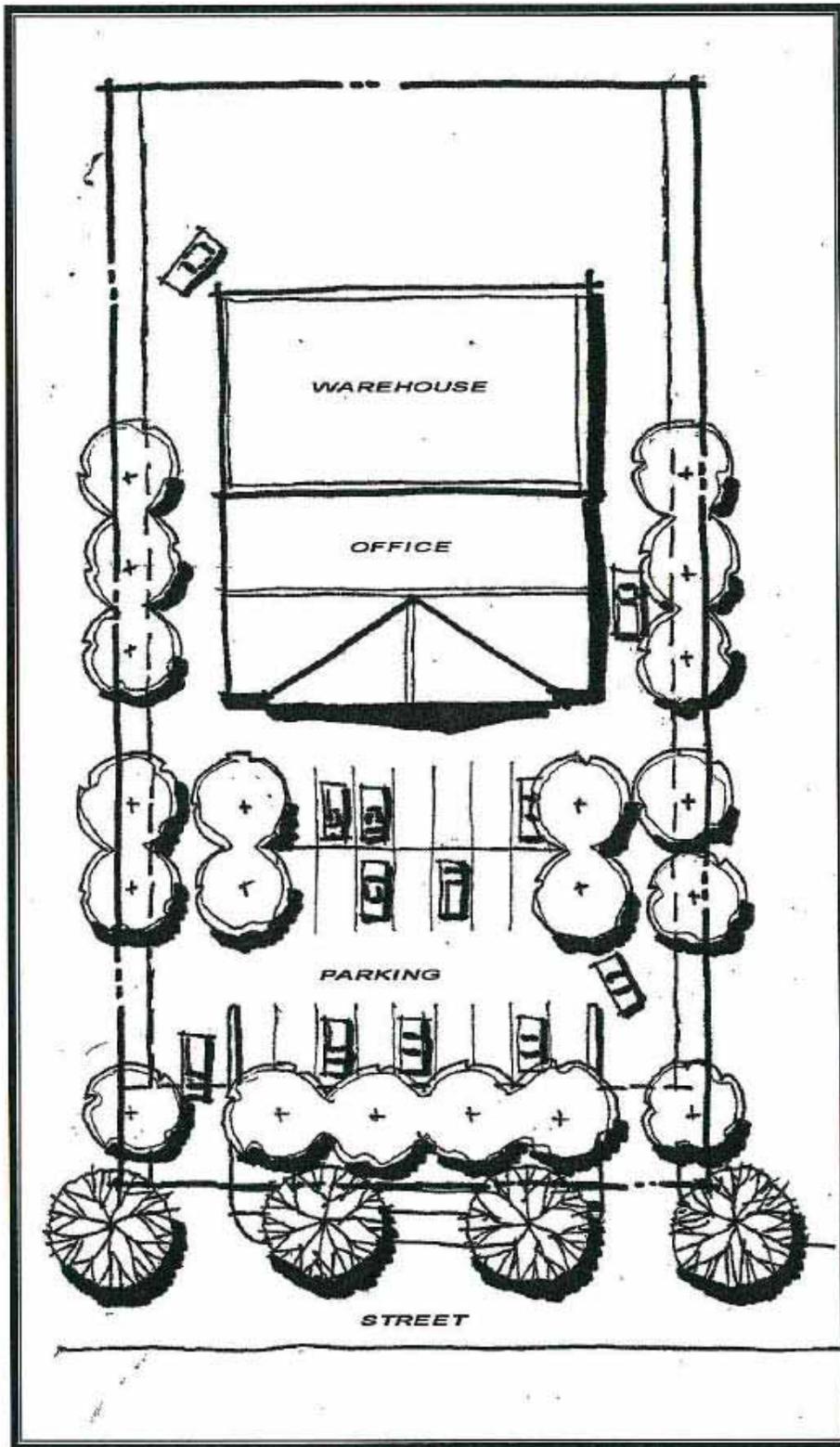
scale: 1/8" = 1'-0"



scale: 1/8" = 1'-0"

E. Centennial Village Commercial Building Examples (*continued*)





CENTENNIAL VILLAGE

OFFICE/WAREHOUSE LOT LAYOUT